

V. Additional information included in the description of property and improvements section of the report

1. For marketing purposes, there is no "named" 13th floor, however construction necessitates a 13th floor; hence, two different methods of numbering the floors exist and are shown below. Please note that all floor plans, apartment drawings, and other references to floors in this report utilize marketing floor designations.

Construction Floor	Marketing Floor	Unit Designation
1	1	-
2	2	A
3	3	A-F, H, J-N, R-T
4	4	A-F, H, J-N, R-T
5	5	A-F, H, J-N, R-T
6	6	A-F, H, J-N, R-T
7	7	A-D, F, H, J-N, R-T
8	8	A-D, F, H, J-N, R-T
9	9	A-D, F, H, J-N, R-T
10	10	A-D, F, H, J-N, R-T
11	11	A-D, F, H, J-N, R-T
12	12	A-D, F, H, J-N, R-T
13	14	A-H, I, K, R-T
14	15	A, C-H, I, K, R-T
15	16	A-F, RH1, RH2
16	17	A-F
17	18	A-F
18	19	A-F
19	20	A-F
20	21	A-F
21	22	A-F
22	23	A-F
23	24	A-F
24	25	A-F
25	26	A-F
26	27	A-F
27	28	A-F
28	29	A-F
29	30	A-F
30	31	A-F
31	32	A-F

2. Floor plans for each unit are drawn to a graphic scale and show room dimensions: See attached plans.

3. Abbreviations for information on the attached plans are as follows:

BOH Back of House
 D/W Dishwasher

REF	Refrigerator
W/C	Wine Cooler
W/D	Washer Dryer
WIC	Walk in Closet
RH	River House

2. Asbestos: None

I have examined the records available at the New York City Department of Buildings and have personally inspected the premises. To the best of my knowledge and belief, this report contains an accurate description of the building. This report is not intended for the purpose of fixing financial value to the property. It is not within the scope of this report to note every future modification or deficiency of construction or maintenance. Except as specifically noted in this report, no representation is made as to the condition or legality of various elements in the building. The Mechanical, Electrical & Plumbing Engineers - Cottrell Associates, Structural Engineer - DeSimone Consulting Engineers, Environmental Engineers/Geotechnical - Langen Engineering, Elevator Consultant - Van Doren and Associates, and Interior Designer - Buckwell Group are responsible for the work performed under their jurisdiction as indicated by their signed and sealed drawings associated with the architectural drawings on file with the New York City Building Department.

The foregoing constitutes a true, correct and complete Description of Property prepared by our firm for Site 16/17 Development LLC.

3. Further Development:

No further development of the project site is anticipated.



Valerie L. Taylor 8/20/06
VALERIE L. TAYLOR
Notary Public, State of New York
No. 0174505519
Certified in Queens County
Commission Expires Dec. 30, 2006

303

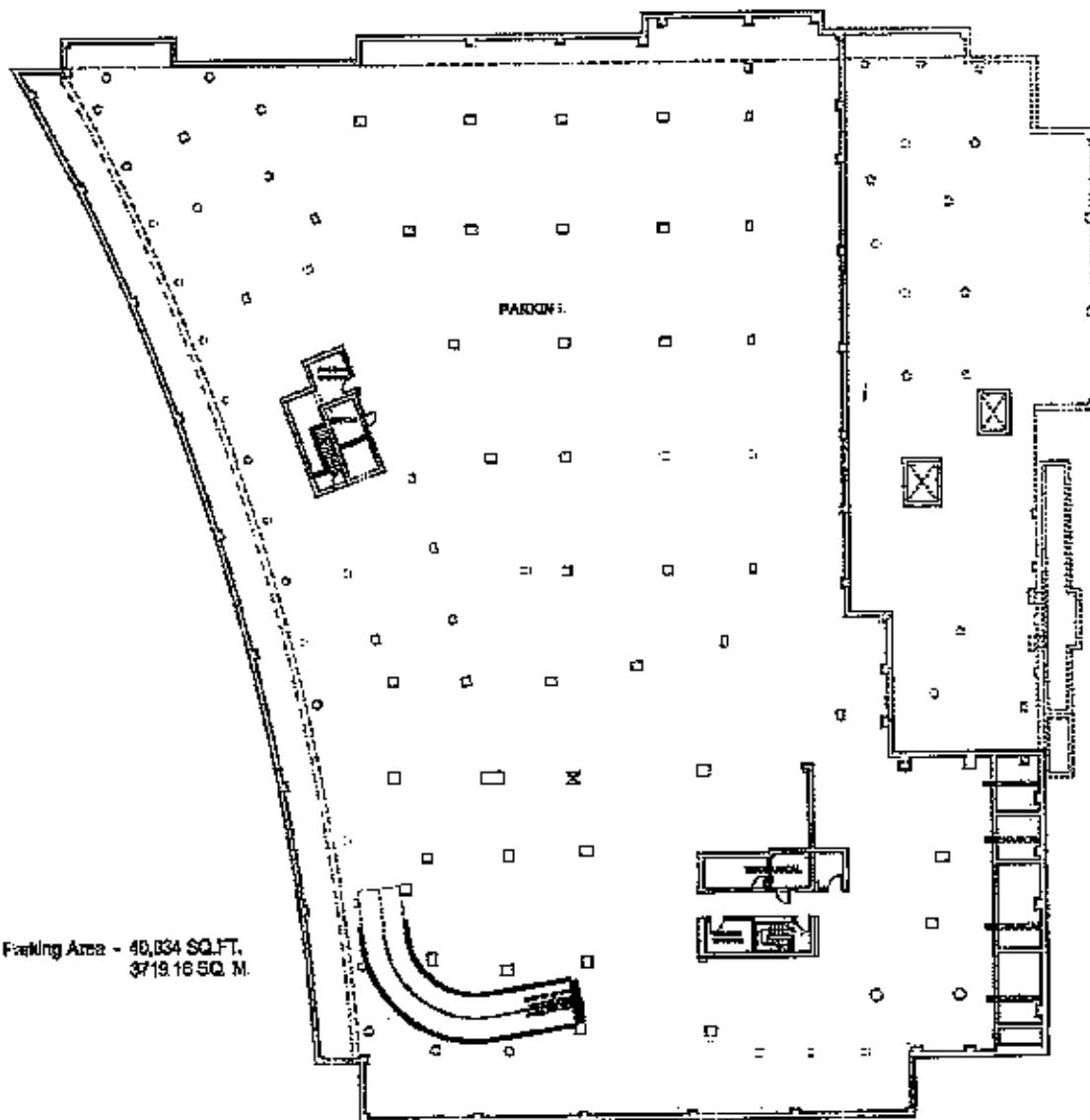
EXHIBIT "S"

FLOOR PLANS

305

RIVERHOUSE ON ROCKEFELLER PARK

Battery Park City, New York

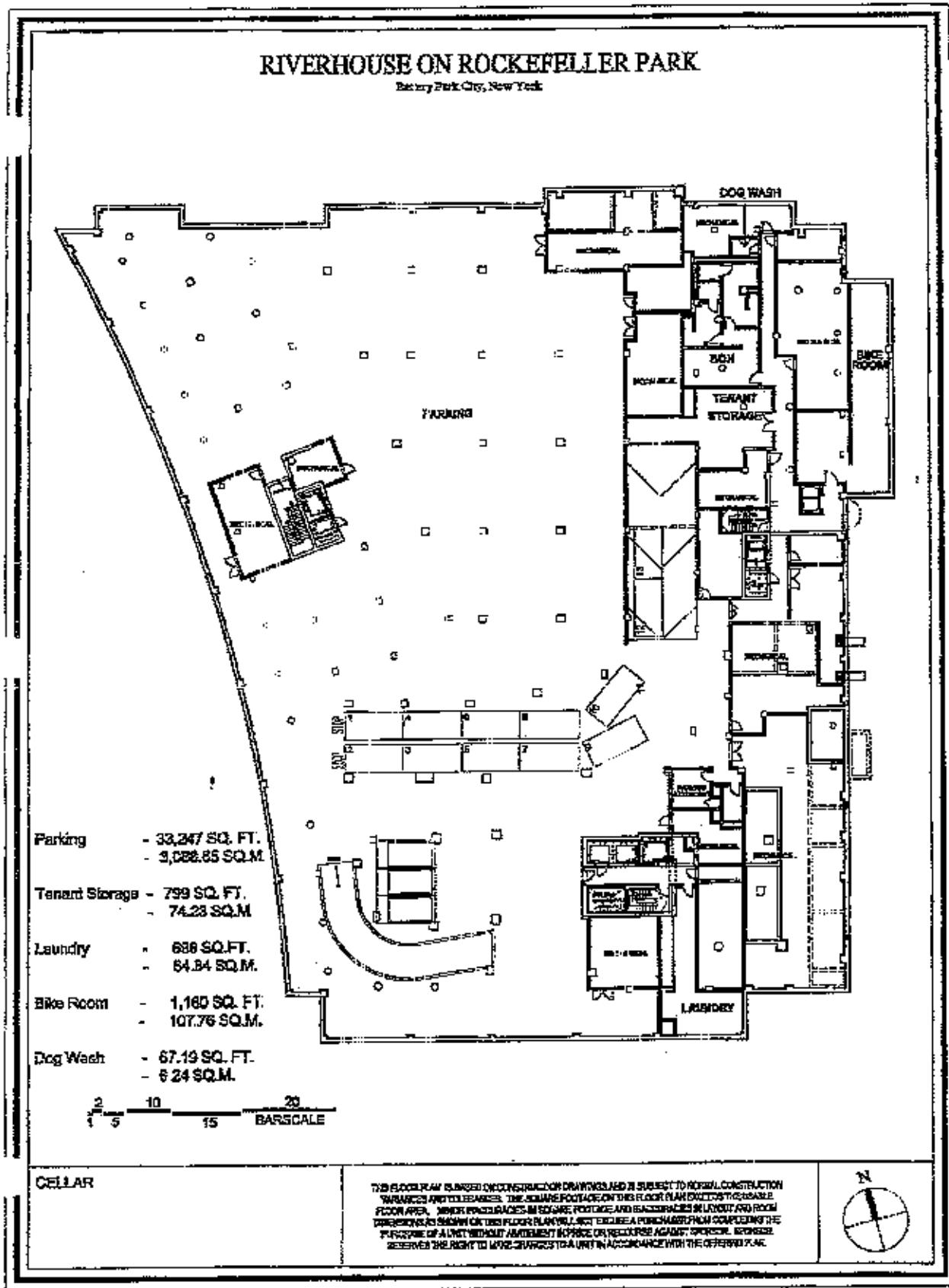


2 10 20
5 15 BARS/SCALE

SUBCELLAR

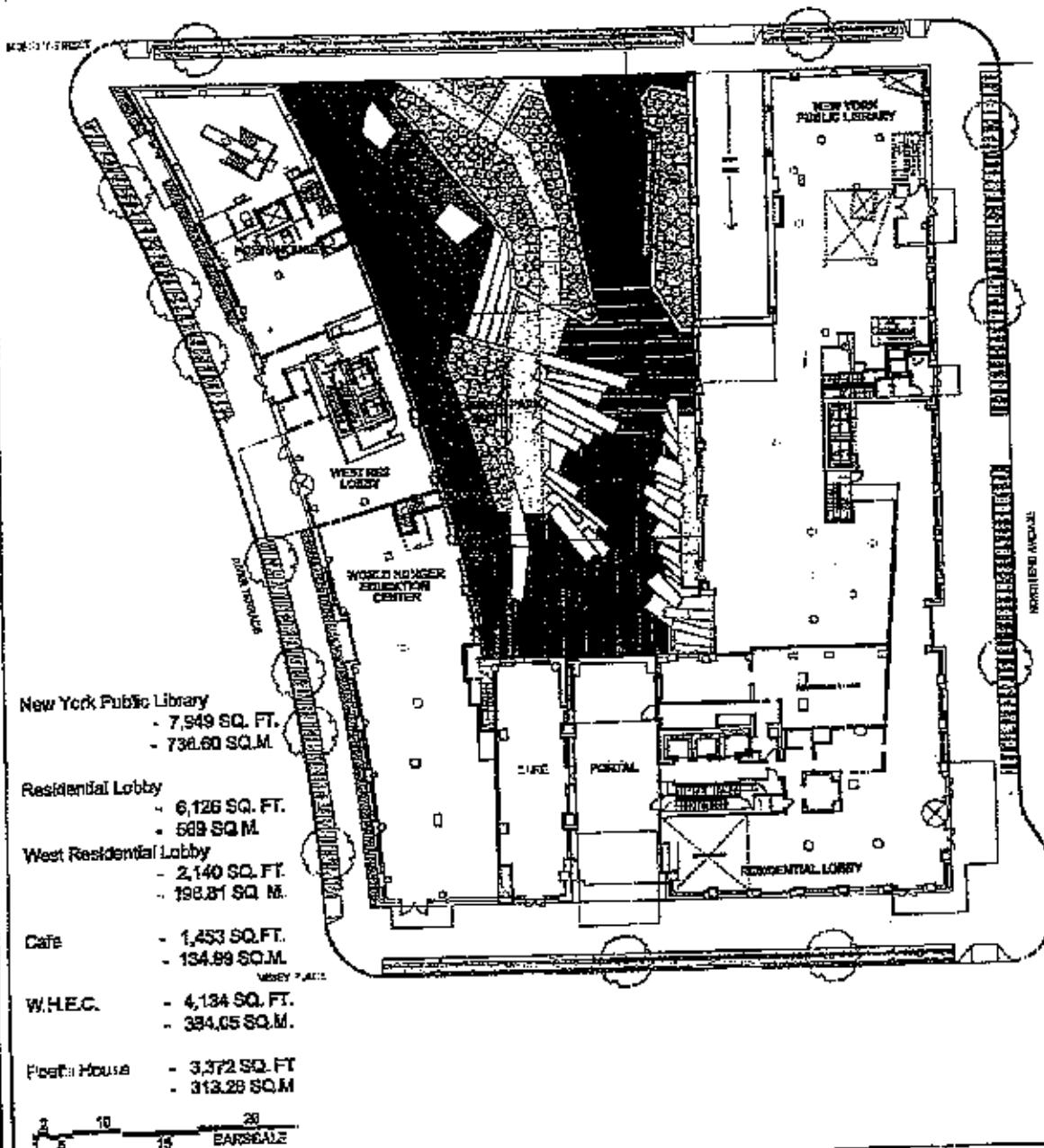
THIS FLOORPLAN IS MEANT FOR CONSTRUCTION OR OWNERSHIP AND IS SUBJECT TO NORMAL CONSTRUCTION VARIANCES AND TOLERANCES. THE SQUARE FOOTAGE ON THIS FLOORPLAN EXCEEDS THE LEASABLE FLOOR AREA. SELLER INFORMATION IN SQUARE FOOTAGE AND IS INACCURATE IN LENGTH AND PROXIMITY DIMENSIONS SHOWN ON THIS FLOORPLAN WILL NOT EXCUSE PURCHASER FROM COMPLETING THE PURCHASE OF A UNIT WITHOUT PAYMENT OF PRE-DEED REVERSE AGAINST SELLER. SELLER RESERVES THE RIGHT TO MAKE CHANGES TO A UNIT OR ADAPTE IT TO THE OFFERING PLAN.





RIVERHOUSE ON ROCKEFELLER PARK

Battery Park City, New York



GROUND FLOOR

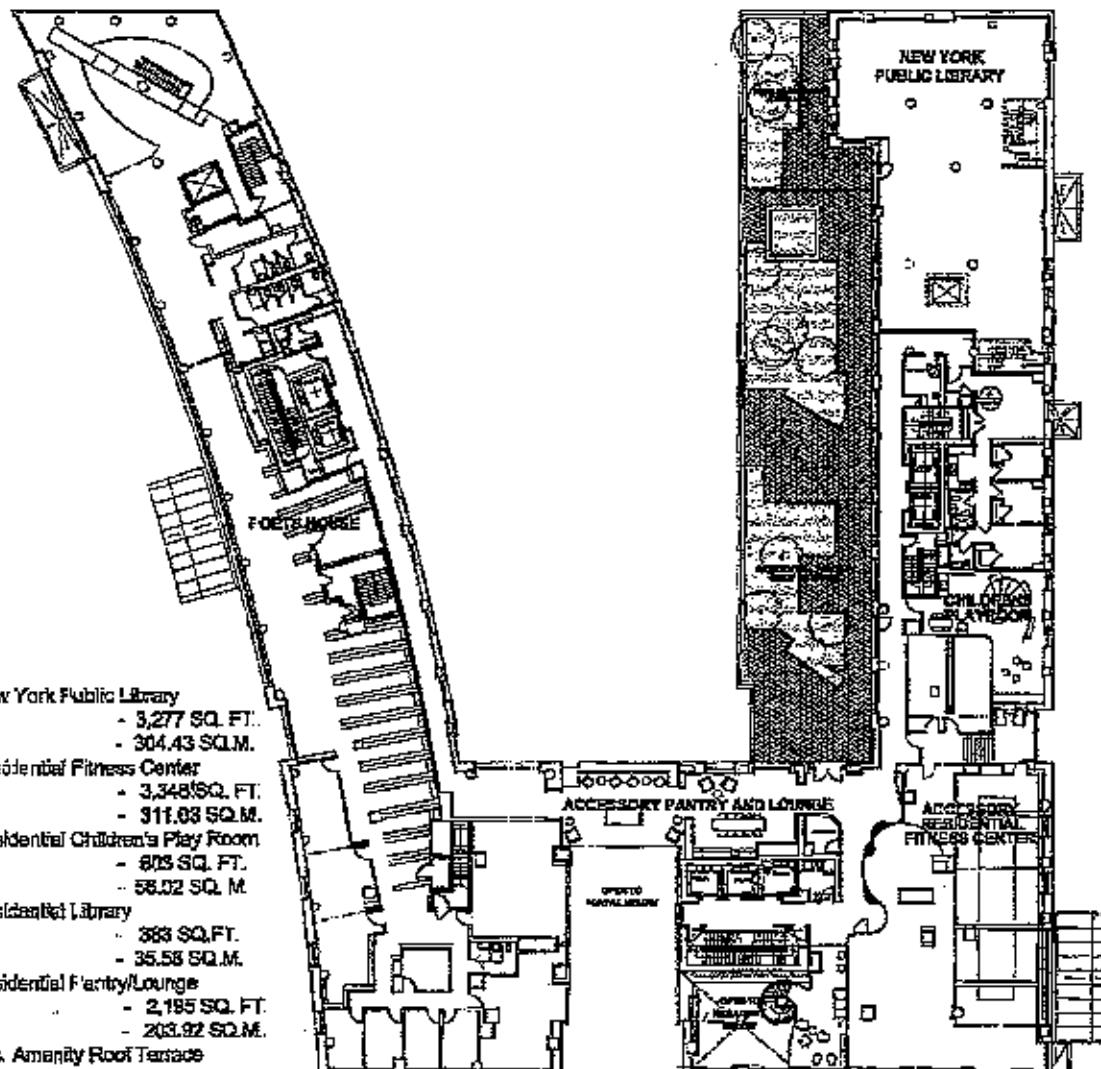
GROSS AREA = 30,102 SQ.FT
= 2,804 SQ.M.
NET AREA = 29,126 SQ.FT.
= 2,703 SQ.M.

THIS FLOOR PLAN IS BASED ON CONSTRUCTION DIMENSIONS AND IS SUBJECT TO NORMAL CONSTRUCTION VARIANCES AND TOLERANCES. THE SQUARE FOOTAGE ON THIS FLOOR PLAN EXCEEDS THE USABLE FLOORPLATE. MINOR INACCESSIBLES IN SQUARE FOOTAGE AND SURFACES TO LAYOUT AND ROOM FLOORPLATE. MINOR INACCESSIBLES IN SQUARE FOOTAGE AND SURFACES TO LAYOUT AND ROOM FLOORPLATE. AS DESCRIBED ON THIS FLOOR PLAN WILL NOT EXCUSE A PURCHASER FROM COMPLETING THE PURCHASE OF A UNIT WITHOUT ASSESSMENT IN PRICE OR RESERVE AGAINST SPONSOR. SPONSOR RESERVES THE RIGHT TO MAKE CHARGES TO A UNIT IN ACCORDANCE WITH THE OFFERING PLAN.



RIVERHOUSE ON ROCKEFELLER PARK

Henry Holt & Co., New York



New York Public Library

- 3,277 SQ. FT.
- 304,43 SQ.M.

Residential Fitness Center

- 3,348 SQ. FT
- 311.93 SQ. M

Residential Children's Play Room

- 843 SQ. FT.
- 78.02 SQ. M

ResidentNet Library

- 363 SQ.FT.
- 35.58 SQ.M.

Residential Entry/Lounge

- 2,195 SQ. FT.
- 203.92 SQ. M.

- 9,525 SQ. FT.
- 884.87 SQ.M.

200 E 005

2ND FLOOR
GROSS AREA = 24,235 SQ.FT.
= 2,251 SQ.M

NET AREA = 23,387 SQ.FT.
= 2,171 SQ.M

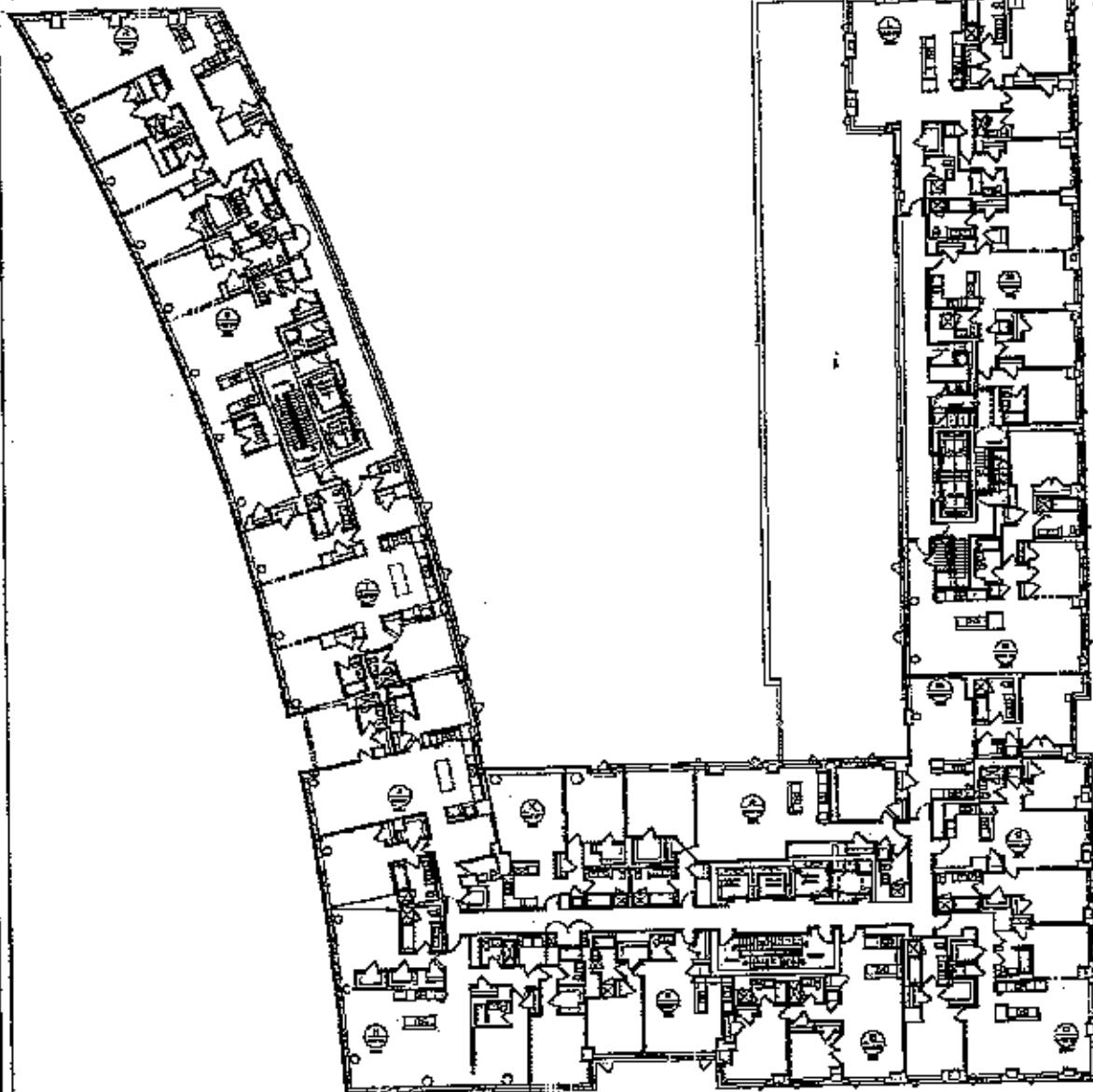
THE FLOOR PLAN IS BASED ON CONSTRUCTION DRAWINGS AND IS SUBJECT TO NORMAL CONSTRUCTION VARIAcES AND TOLERANCES. THE SQUARE FOOTAGE OF THE FLOOR PLAN EXCLUDES THE BASEMENT, ROOF AREA, TOWER, INCLINACES IN COURSE, FOOTAGE AND ENTRANCES, BALKERS, ETC. AND ROOM ENCLOSURES AS SHOWN ON THE FLOOR PLAN WILL NOT EXCUSE A PURCHASE FROM COMPANIES FOR THE PURCHASE OF A CONSTRUCTION DRAWING OR PLANS, OR FOR USE AGAINST SPONSOR, SPONSOR'S AGENTS OR THE SPONSOR'S BUSINESS. SPONSOR IS NOT RESPONSIBLE FOR THE DELIVERY OF PLANS, DRAWINGS OR INFORMATION TO THE BUYER. SPONSOR IS NOT RESPONSIBLE FOR THE BUYER'S FAILURE TO MAKE CHANGES IN A DRAWING IN ACCORDANCE WITH THE DELIVERED PLANS.



309

RIVERHOUSE ON ROCKEFELLER PARK

Battery Park City, New York



2
10
15
20
1
5
10
15
20
BARSCALE

3RD FLOOR
GROSS AREA = 25,408 SQ.FT.
= 2,360 SQ.M.
NET AREA = 24,519 SQ.FT.
= 2,278 SQ.M.

THIS FLOOR PLAN IS BASED ON CONSTRUCTION DRAWINGS AND IS SUBJECT TO MODIFIED CONSTRUCTION
TOLERANCES AND TOLERANCES. THE SQUARE FOOTAGE ON THIS FLOOR PLAN EXCEEDS THE AVAILABLE
FLOOR AREA. MINOR INACCURACIES IN SQUARE FOOTAGE AND INACCURACIES IN LAYOUT AND ROOM
DIMENSIONS AS SHOWN ON THIS FLOOR PLAN WILL NOT EXCUSE A PURCHASER FROM COMPLETING THE
PURCHASE OF APARTMENT WITHOUT A STATEMENT IN WRITING TO THE SELLER AGAINST SPONSOR. SPONSOR
RESERVES THE RIGHT TO MAKE CHANGES TO A UNIT IN ACCORDANCE WITH THE OFFERING PLAN.

